



City of **SANDWICH, ILLINOIS**

144 E. Railroad St – Sandwich, IL 60548

Phone: (815) 786-8802

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Additions Packet Letter

To whom it may concern;

The following packet gives descriptions and examples as to what we require (at minimum) on additions. This isn't a suggested list. All items need to be on plans when they are submitted.

The plat of survey requirements (site plans, spot survey and "as built") need to be complete as well. Every item described in this informational packet must be shown on submitted plats.

Please note that any plumbing that is not done solely by the homeowner must be done by a registered business and licensed plumber. Both current 055 (Contractors registration number) and 058 (Plumbing license number) must be noted on permit application. A letter of Intent (from plumbing contractor) must be completed and handed in with application. Letter is up front at city hall and in this packet.

No one may tamper with a buffalo box by turning water on or off. This must be done by City of Sandwich. A water meter and check valve must be installed. Call and arrange pick up by calling water department at 815-786-6742. Meter installation must be inspected by City of Sandwich before water is turned on.

Blueprints must remain on site until occupancy has been approved.

Until occupancy has been issued, no possessions, tools, plants, furniture, etc. are to be moved into house or stored on property without prior permission from building department.

Everyone wants their plans approved and permits issued as soon as possible. That is our goal, but the first review of house plans can take two weeks to be completed. Following that acceptance, the site plans need to be approved. Before submitting plans, go through the checklists that we have provided and be certain you have addressed each item. If they are left off plans, the prints may/will be returned, and the review process begins anew once redrawn plans have been submitted.

While it is our intention to assist and help direct the building process, please understand we do not provide design assistance, nor do we provide other services, such as structural engineering, locate property boundaries, suggest contractors, or call for inspections.

Feel free to email or call with any questions or concerns.

Thank you.

City of Sandwich
Building Department

Rev 03/19/2020

CITY OF SANDWICH APPLICABLE CODES

APPLICABLE CODES ARE:

INTERNATIONAL RESIDENTIAL CODE 2006 with local amendments

INTERNATIONAL BUILDING CODE 2006 with local amendments

INTERNATIONAL MECHANICAL CODE 2018

INTERNATIONAL FUEL GAS CODE 2018

INTERNATIONAL ENERGY CONSERVATION CODE 2018

NATIONAL ELECTRIC CODE 2017 with local amendments

**NATIONAL FIRE PROTECTION ASSOCIATION 101 LIFE SAFETY CODE 2015 with
local amendments**

INTERNATIONAL FIRE CODE 2015 with local amendments

STATE OF ILLINOIS PLUMBING CODE 2014

ILLINOIS ACCESSIBILITY CODE 2018

CITY OF SANDWICH MUNICIPAL CODE

INTERNATIONAL PROPERTY MAINTENANCE CODE 2015

CITY OF SANDWICH

INSPECTION SCHEDULE FOR RESIDENTIAL CONSTRUCTION AND REMODLEING

The following is a general list of required inspections. It is the applicant's responsibility to schedule inspections as required.

To schedule an inspection, call the Building Department at 815-786-8802 not less than 48 hours before the inspection is required. All items need to have inspections unless crossed out.

Note: An approved set of building plans and the permit card shall be on the jobsite protected from weather.

___ **1. SITE:** After application is accepted and before any work progresses, the owner or builder shall clearly mark with stakes, the property boundaries and the foundation footprint. A silt fence must be in place before works commences. See Plat of survey requirements.

___ **2. FOOTING:** Excavation completed, footing forms and rebar installed, free of standing water and ready to pour.

___ **3. BACKFILL:** Concrete walls have cured for 8 days, perimeter drain tile installed and gravel covered, damp proofing applied and code compliant window wells installed.

___ **4. SEWER/ WATER:** Excavation exposed and lines visible at the point of connection.

___ **5. ELECTRICAL SERVICE:** Installed service panel

___ **NOTE:** Prior to framing, a spot survey indicating setbacks and top of foundation must be submitted, reviewed and approved. See Plat of survey requirements.

___ **6. FRAME AND WIRE:** The structure is framed, roofed and rough wiring is complete. Windows and doors (if applicable) must have energy rating stickers attached. Energy ratings for windows must be noted on energy certificate that must be attached to electrical panel before final inspection.

___ **7. UNDER FLOOR PLUMBING:** All plumbing must be left uncovered and safe access to the basement must be provided.

___ **8. ROUGH PLUMBING:** Rough plumbing complete and water meter base is installed.

___ **9. CAULK:** Draft stopping, fire caulk and energy caulking complete.

___ **10. INSULATION:** Installed insulation, draft stopping and fire caulking complete. Insulation values (basement, crawls, walls, ceilings and attics) need to be noted on energy certificate that must be attached to electrical panel before final inspection.

___ **11. BASEMENT SLAB:** Stone fill and grades established with vapor barrier installed and taped.

___ 12. **GARAGE SLAB:** Stone fill and grades established with wire mesh or approved substrate.

___ 13. **PUBLIC SIDEWALK AND DRIVEWAY APPROACH:** Stone fill and grades established with forms in place with a minimum of six (6) inches for public sidewalk (rebar dowels are required when installing new sidewalks into existing) when crossing the driveway and a minimum of six (6) inches for the approach.

___ **NOTE:** An as built grading survey must be submitted, reviewed and approved prior to a certificate of occupancy being issued. See Plat of survey requirements.

___ **NOTE:** A Blower test must be performed and the results submitted and approved prior to a certificate of occupancy being issued. Test results must be noted on energy certificate that must be attached to electrical panel before final inspection.

___ 14. **Final:** Construction complete and all systems fully functional including plumbing.

NOTE: The following is a quick checklist of areas often incomplete during final inspection. This is not meant to be a complete list.

- All spigots must have an anti-siphon valve.
- Programmable thermostat must be in place and operational.
- Scuttle hole doors must have a weather seal installed and be insulated.
- Whole House fans must have an insulation plan in place for months of non-use.
- Gutters and downspouts must be functional.
- Check valve (back flow prevention) and expansion tank must be installed.
- All outlets need to be working correctly and GFI's functional. All outlets/ switches must be secured tightly to the box. Arc fault circuits must be marked.
- Hot water must be present at faucets and showers/ a maximum of 115 degrees is allowed.
- Caulk any openings or penetration holes to exterior walls under sinks and/or vanities.
- Garage service door to house must have self-closing hinges or a suitable substitution.
- Landscaping complete.
- 4" minimum house address numbers installed and clearly visible from street.
- All exterior vent covers installed.
- Exterior caulking complete.
- HVAC runs /joints must be sealed with approved tape.
- Electrical panel door must have 2012 IECG certificate adhered and completed.
- Basement/ crawl space slabs must be caulked at all wall and relief joints.

If for any reason, work is not ready when inspector arrives for a scheduled inspection, a repeat inspection fee may/ will be charged.

IN NEW CONSTRUCTION, DO NOT OCCUPY BUILDING UNTIL A FINAL INSPECTION HAS BEEN PERFORMED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

Residential Plan Requirements/ New Homes or Additions

BUILDING SECTION

PURPOSE

Three complete sets of plans of your proposed residential construction project are required for the Building Section's plan check process. While we don't require stamped plans for permit issuance, we do expect complete and thorough plans. As well as communicating your construction project to the Building section and your contractor, a detailed set of plans helps you in your own planning, whether it be aesthetic or financial. In addition, a complete set of plans will help to identify and correct problems on paper, before construction begins, thus avoiding costly mistakes or changes during the construction process.

A complete set of working drawings will aid the plan reviewers in assessing the structural integrity of your project so that your building is safe and comfortable. One set of approved plans will be returned to you with minor corrections marked in red pen. This set must remain on the job site at all times for reference by the Building Inspectors. Another set will also be marked and placed in our files for reference during construction. Plans submitted with too many errors (3) inconsistencies and/ or omissions will be returned for correction.

In general, a complete, accurate set of drawing will help to speed up the plan check process and make any construction project less complex and frustrating.

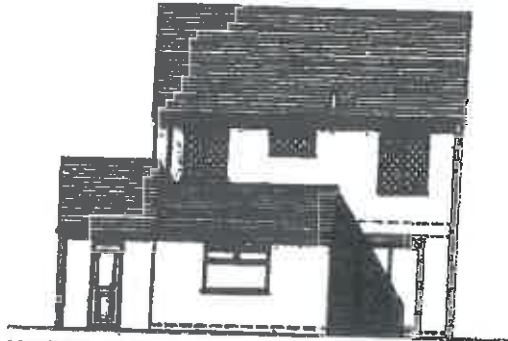
In the following pages, you will find the minimum standards. There is an item check list to be used. We expect everything on these lists to be written or drawn on submitted plans. If there are more than a few missing items, plans will be returned. No permit will be issued. If you have questions on certain items, please feel free to ask for clarification. Don't just omit their inclusion. It would be a benefit to the building department for you to have all your questions ready at one time. Even easier for this department is to receive an email with questions. Tsteffens@sandwich.il.us Please draw plans in $\frac{1}{4}'' = 1'-0''$ scale

It is the applicant's duty to insure their Homeowners Association (if applicable) approval before starting work. This is not performed by the City of Sandwich.

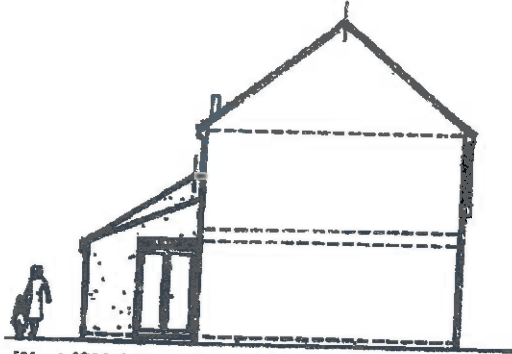
PROCESS

Plans submitted to the Building Section for review are received by the front counter. Once received, your permit will be reviewed to see if they are complete by reviewing the applicant checklist and this packet. Your plans will be reviewed by our Engineering and Building department. They are checked for conformance with building codes, ordinances, including setbacks from property lines, percentage of lot coverage, legal access and lot size, permitted development for the area, etc.

Show all sides of building with exterior materials noted. Show roof pitches.



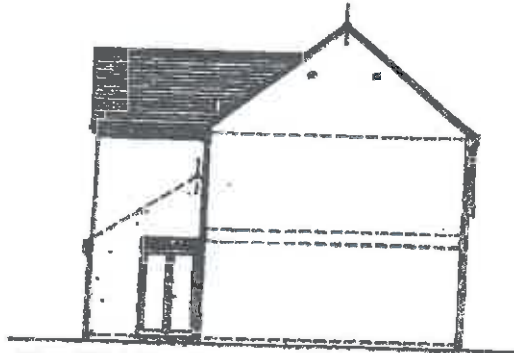
North (Rear) Elevation - Existing



West (Side) Elevation - Existing



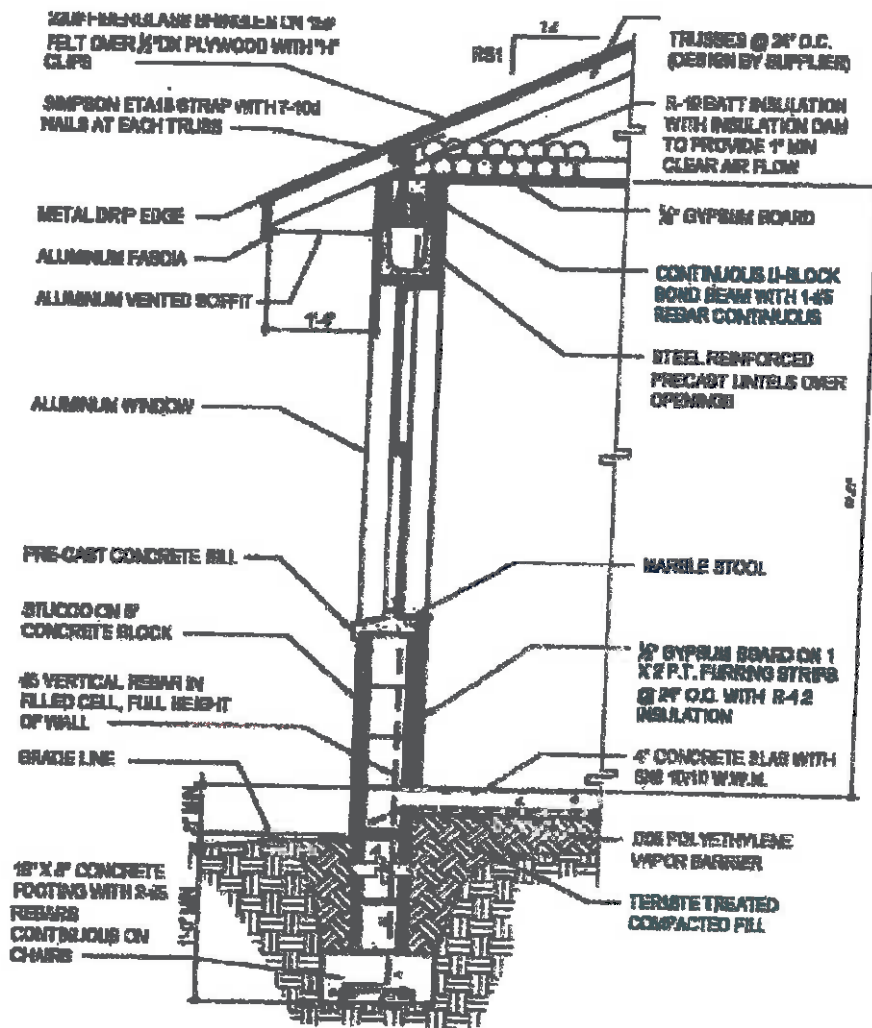
North (Rear) Elevation - Proposed



West (Side) Elevation - Proposed

Sample elevation plan/ This is for a visual aid only.

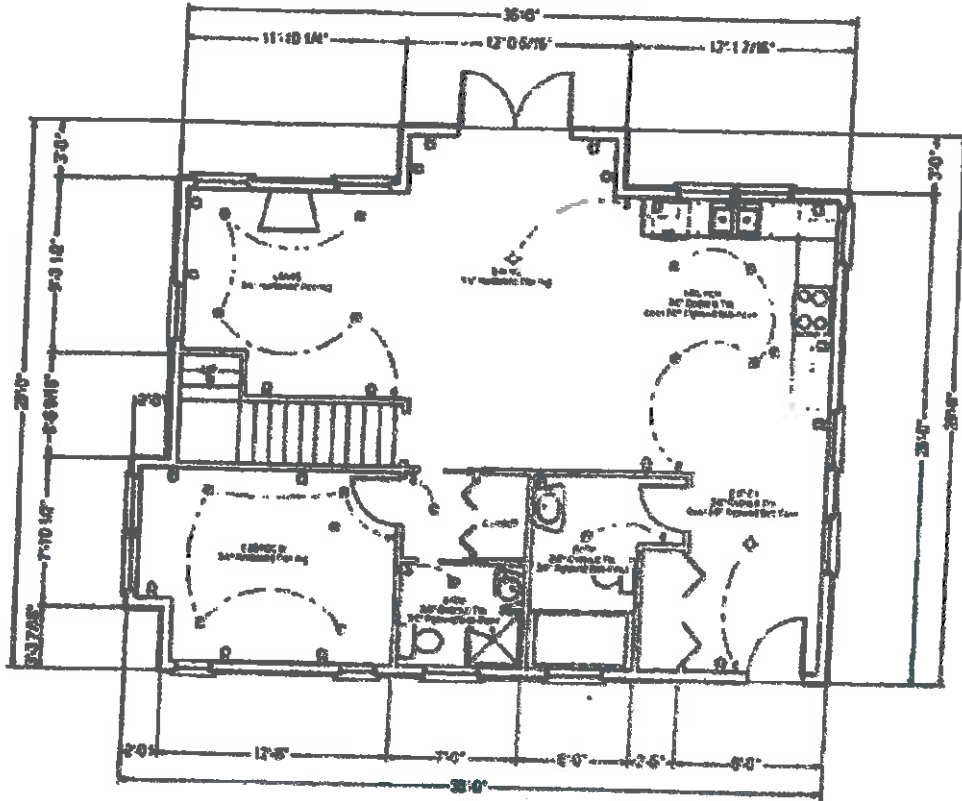
Add items as needed in description of elevation section. See attached checklist.



1 TYPICAL WALL SECTION
3/4" = 1'-0"
C.A. 1002

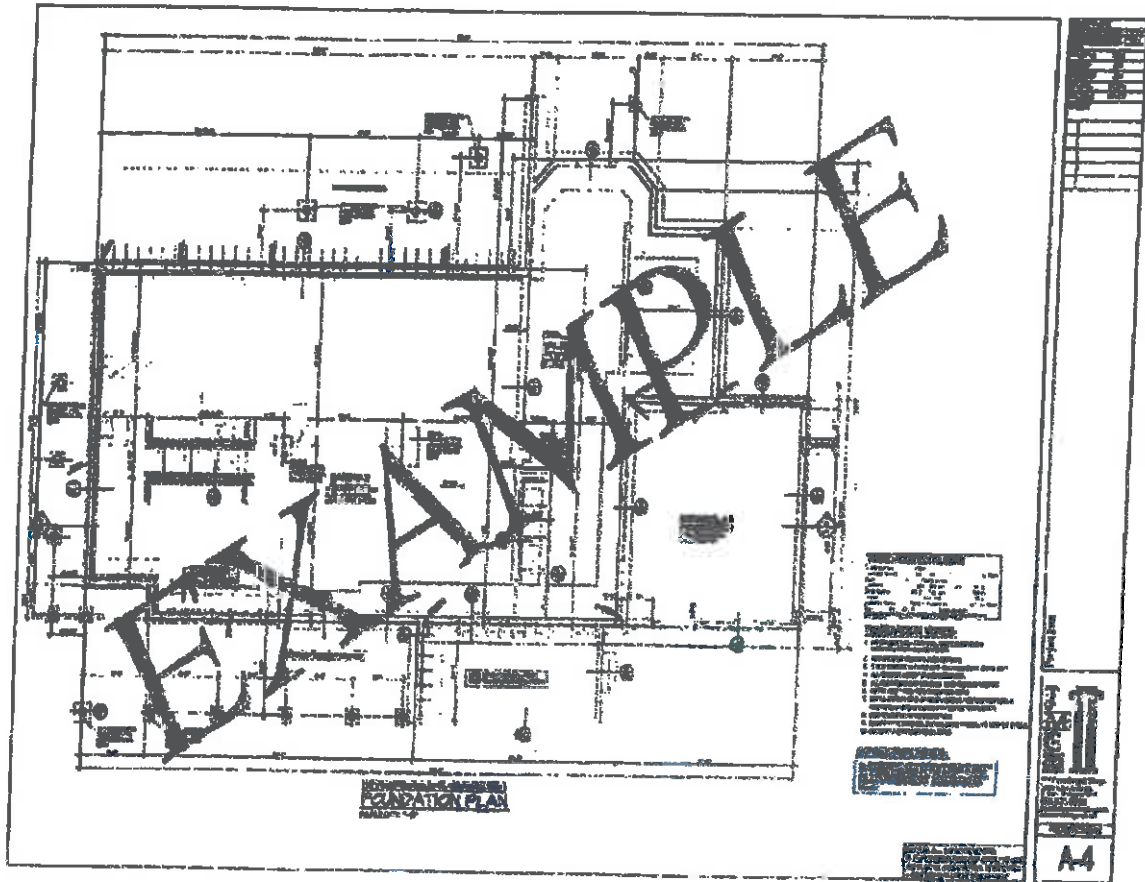
Sample wall section/ This is for a visual aid only.

Add items as needed in description of wall section. See attached checklist.



Sample floor plan/ This is for a visual aid only

Add items as needed in description of floor plan. See attached checklist.



Sample Foundation plan/ This is for a visual aid only

Add items as needed in description of foundation plan. See attached checklist

Foundation Plan:

The following list is a minimum itemization, but all items must be on plan

- ___ **Layout of foundation walls with dimensions**
- ___ **Size and locations of footings**
- ___ **Rebar notes for walls, footings and tie-ins to existing**
- ___ **Show stem walls**
- ___ **Foundation walls**
- ___ **Drops in foundation walls (esp. under doors)**
- ___ **Brick Ledges**
- ___ **Garage slopes/ gas curb**
- ___ **Pier pads/ size and locations**
- ___ **Air vents**
- ___ **Underfloor access**
- ___ **Insulation requirements**
- ___ **Sump and ejector pit locations and direction of discharge**
- ___ **Mil of vapor barrier/ joints must overlapped and taped**
- ___ **stone description (type and size)**
- ___ **depth of slab**
- ___ **electrical layout for outlets, switches, and lighting**
- ___ **Describe electrical (amperage) service and location**
- ___ **Describe type of Lally column and connection to floor/ concrete**
- ___ **Show radon location**
- ___ **Size, direction, description and spacing of floor joists with bridging description**
- ___ **Size and type of beams**
- ___ **Size of windows and escape window description, including window well dimensions**
- ___ **Describe caulking both the concrete slab to wall edges and control joints for radon protection**
- ___ **Mortar in beam pockets**

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Floor Plan:

The following list is a minimum itemization, but all items must be on plan

- Show each level of construction to be built or remodeled
- Show all full or partial wall heights, the size and proposed use of each room
- Show floor coverings
- On all levels including foundation plan, show location, size and type of each window and doors along with door swings
- Show locations of all bearing walls, headers and beams and other structural members supporting loads from above or below
- Explain in-construction headers and any joist hanger applications
- Explain size and type of headers over doors, windows, and openings.
- Show all stair systems, tread and riser dimensions and handrail requirements
- Show plumbing fixtures and locations
- Show heating and cooling equipment and locations
- Show all interior and exterior electrical outlets and switches along with GFI and AFI locations
- Show CFM on all fans
- Show all smoke detectors and carbon monoxide sensors
- Show attic access
- Show floor and or ceiling joist sizes, spacing and bridging applications
- Show kitchen layout and venting
- Show decks (materials and attachment) and any porch details
- Show fireplace details

Roof Plan:

The following list is a minimum itemization, but all items must be on plan

- Show rafter sizes and spacing
- Show ridge sizes
- Show hip and valley sizes
- Show any lay-on roofs
- if using manufactured trusses, it is necessary to submit truss manufacturers engineered stamped plans

Elevation Plan:

The following list is a minimum itemization, but all items must be on plan.

- Show all sides of building with exterior materials noted
- Show roof pitches
- Show grade elevation. Distance from ground to top of foundation

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815-786-8802

Wall section:

The following list is a minimum itemization, but all items must be on plan

- ___ Show anchor bolts / size and locations
- ___ Show drain tile/ size and locations
- ___ Show stone usage/ size and location
- ___ Insulation values required for all floors, basement or crawl spaces, walls, ceilings and attics
- ___ Damp proofing
- ___ Size of footings and walls
- ___ Slab size
- ___ Sill plate and sealer/ Types and size
- ___ Height of foundation above grade
- ___ Floor joist size and spacing
- ___ Box size and type
- ___ Sub flooring size and type
- ___ Describe wall framing/ size of studs and spacing/ plates top and bottom
- ___ Wall sheathing type and size
- ___ Type of air infiltration barrier with taped seams
- ___ Describe siding or exterior finish
- ___ Describe interior finish
- ___ Roof construction should show ceiling joists, rafters, and ridge.
- ___ Show type and size of sheathing
- ___ Indicate felt thickness
- ___ Describe required locations of ice and water shield
- ___ Describe roofing type
- ___ Show radon going from basement thru roof
- ___ Describe eave overhang dimensions and materials to be used
- ___ Indicate gutter size

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Assorted Information:

The following list is a minimum itemization, but all items must be on plan

- ___ Lot # and address
- ___ Scale used for drawing. Please use $\frac{1}{4}'' = 1'' - 0''$
- ___ Current list of Applicable Building codes for Sandwich (List is available)
- ___ Door and window schedule including U-values and safety glazing, tempered glass listings
- ___ Light and Ventilation schedule
- ___ Plumbing notes/ waste and water diagrams and details
- ___ Legend tables explaining electric, plumbing etc. symbols
- ___ Design criteria for floors, walls, ceilings, decks, and balconies. What source did you use to establish structural design components?
- ___ Radon system/ Show drawing from basement thru roof including electric
- ___ Duct joints must be properly taped
- ___ Ducts in exterior walls must be insulated to R-6
- ___ Ducts in attic must be insulated to R-8
- ___ Furnace must have exterior supply air
- ___ Hot water piping must be insulated to a minimum of R-3
- ___ All bedrooms and smoke detectors need to be Arc Fault protected.
- ___ Blower test criteria

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