



City of  
**SANDWICH, ILLINOIS**

144 E. Railroad St – Sandwich, IL 60548

Phone: (815) 786-8802  
E-mail: [tsteffens@sandwich.il.us](mailto:tsteffens@sandwich.il.us)

## **New Homes/ Additions Packet Letter**

To whom it may concern;

The following packet gives descriptions and examples as to what we require (at minimum) on new home plans and additions. This isn't a suggested list. **All items need to be on plans when they are submitted.**

The plat of survey requirements (site plans, spot survey and "as built") need to be complete as well. **Every item described in this informational packet must be shown on submitted plats.**

Please note that any plumbing that is not done solely by the homeowner must be done by a registered business and licensed plumber. **Both current 055 (Contractors registration number) and 058 (Plumbing license number) must be noted on permit application. A letter of intent (from plumbing contractor) must be completed and handed in with application. Letter is up front at city hall and in this packet.**

**No one may tamper with a buffalo box by turning water on or off.** This must be done by City of Sandwich. A water meter and check valve must be installed. Call and arrange pick up by calling water department at 815-786-6742. Meter installation must be inspected by City of Sandwich before water is turned on.

Stamped Blueprints must remain on site until occupancy has been approved.

Until occupancy has been issued, no possessions, tools, plants, furniture, etc. are to be moved into house or stored on property without prior permission from building department.

Everyone wants their plans approved and permits issued as soon as possible. That is our goal, but the first review of house plans can take two weeks to be completed. Following that acceptance, the site plans need to be approved. Before submitting plans, go through the checklists that we have provided and be certain you have addressed each item. If they are left off plans, the prints may/will be returned, and the review process begins anew once redrawn plans have been submitted.

While it is our intention to assist and help direct the building process, please understand we do not provide design assistance, nor do we provide other services, such as structural engineering, locate property boundaries, suggest contractors, or call for inspections.

Feel free to email or call with any questions or concerns.

Thank you.

City of Sandwich  
Building Department

# **CITY OF SANDWICH APPLICABLE CODES**

## **APPLICABLE CODES ARE:**

**INTERNATIONAL RESIDENTIAL CODE 2018 with local amendments**

**INTERNATIONAL BUILDING CODE 2018 with local amendments**

**INTERNATIONAL MECHANICAL CODE 2018**

**INTERNATIONAL FUEL GAS CODE 2018**

**INTERNATIONAL ENERGY CONSERVATION CODE 2018**

**NATIONAL ELECTRIC CODE 2017 with local amendments**

**NATIONAL FIRE PROTECTION ASSOCIATION 101 LIFE SAFETY CODE 2015 with  
local amendments**

**INTERNATIONAL FIRE CODE 2015 with local amendments**

**STATE OF ILLINOIS PLUMBING CODE 2014**

**ILLINOIS ACCESSIBILITY CODE 2018**

**CITY OF SANDWICH MUNICIPAL CODE**

**INTERNATIONAL PROPERTY MAINTENANCE CODE 2015**

Address \_\_\_\_\_ Date of Permit \_\_\_\_\_

Builder \_\_\_\_\_ Lot Number \_\_\_\_\_

## CITY OF SANDWICH

### INSPECTION SCHEDULE FOR RESIDENTIAL CONSTRUCTION AND REMODLEING

The following is a general list of required inspections. It is the applicant's responsibility to schedule inspections as required. **Both current 055 (Contractors registration number) and 058 (Plumbing license number) must be noted on permit application.**

To schedule an inspection, call the Building Department at 815-786-8802 not less than 48 hours before the inspection is required. All items need to have inspections unless crossed out.

**Note:** An approved set of building plans and the permit card shall be on the jobsite protected from weather.

\_\_\_\_\_ **1. SITE:** After application is accepted and before any work progresses, the owner or builder shall clearly mark with stakes, the property boundaries and the foundation footprint. A silt fence must be in place before works commences. **See Plat of survey requirements.**

\_\_\_\_\_ **2. FOOTING:** Excavation completed, footing forms and rebar installed, free of standing water and ready to pour. \_\_\_\_\_ **Submit Soil Sample Report**

\_\_\_\_\_ **3. WALLS:** Forms in place rebar installed and ready for pour.

\_\_\_\_\_ **4. BACKFILL:** Concrete walls have cured for 8 days, perimeter drain tile installed and gravel covered, damp proofing applied and code compliant window wells installed.

\_\_\_\_\_ **5. SEWER/ WATER:** Excavation exposed and lines visible at the point of connection.

\_\_\_\_\_ **6. ELECTRICAL SERVICE:** Installed service panel

\_\_\_\_\_ **NOTE:** Prior to framing, a spot survey indicating setbacks and top of foundation must be submitted, reviewed and approved. **See Plat of survey requirements.**

\_\_\_\_\_ **7. FRAME AND WIRE:** The structure is framed, roofed and rough wiring is complete. Windows and doors (if applicable) must have energy rating stickers attached. **Energy ratings for windows must be noted on energy certificate that must be attached to electrical panel before final inspection.**

\_\_\_\_\_ **8. UNDER FLOOR PUMBING:** All plumbing must be left uncovered and safe access to the basement must be provided.

\_\_\_\_\_ **9. ROUGH PLUMBING:** Rough plumbing complete and water meter base is installed.

\_\_\_\_\_ **10. CAULK:** Draft stopping, fire caulk and energy caulking complete.

\_\_\_\_\_ **11. ROUGH HVAC:** Piping secure, insulated, taped, and outside air supply.

\_\_\_\_\_ **12. INSULATION:** Installed Insulation, draft stopping and fire caulking complete. **Insulation values (basement, crawls, walls, ceilings and attics) need to be noted on energy certificate that must be attached to electrical panel before final inspection.**

\_\_\_\_\_ **13. BASEMENT SLAB:** Stone fill and grades established with vapor barrier installed and taped.

\_\_\_\_\_ **14. GARAGE SLAB:** Stone fill and grades established with wire mesh or approved substrate.

\_\_\_\_\_ **15. PUBLIC SIDEWALK AND DRIVEWAY APPROACH:** Stone fill and grades established with forms in place with a minimum of six (6) inches for public sidewalk (rebar dowels are required when installing new sidewalks into existing) when crossing the driveway and a minimum of six (6) inches for the approach.

\_\_\_\_\_ **NOTE:** An as built grading survey must be submitted, reviewed and approved prior to a certificate of occupancy being issued. **See Plat of survey requirements.**

\_\_\_\_\_ **NOTE:** A Blower test must be performed and the results submitted and approved prior to a certificate of occupancy being issued. **Test results must be noted on energy certificate that must be attached to electrical panel before final inspection.**

\_\_\_\_\_ **16. Final:** Construction complete and all systems fully functional including plumbing.

**NOTE: The following is a quick checklist of areas often incomplete during final inspection. This is not meant to be a complete list.**

All spigots must have an anti-siphon valve.

Programmable thermostat must be in place and operational.

Scuttle hole doors must have a weather seal installed and be insulated.

Gutters and downspouts must be functional.

Check valve (back flow prevention) and expansion tank must be installed.

All outlets need to be working correctly and GFI's functional. All outlets/ switches must be secured tightly to the box. Arc fault circuits must be marked.

Hot water must be present at faucets and showers/ a maximum of 115 degrees is allowed.

Caulk any openings or penetration holes to exterior walls under sinks and/or vanities.

Garage service door to house must have self-closing hinges or a suitable substitution.

Landscaping complete.

4" minimum house address numbers installed and clearly visible from street.

All exterior vent covers installed.

Exterior caulking complete.

HVAC runs /joints must be sealed with approved tape.

Electrical panel door must have 2012 IECC certificate adhered and completed.

Basement/ crawl space slabs must be caulked at all wall and relief joints.

If for any reason, work is not ready when inspector arrives for a scheduled inspection, a repeat inspection fee may/ will be charged. It is \$75.00 per inspection.

**IN NEW CONSTRUCTION, DO NOT OCCUPY BUILDING UNTIL A FINAL INSPECTION HAS BEEN PERFORMED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.**

## Site plan requirements

The City of Sandwich requires site plans to be prepared by a licensed land surveyor.

1. Site plan for Building Permit (include with permit application) 3 copies of Plat required
  - 1.1 North Arrow, Scale, Legal description
  - 1.2 Address and Lot number
  - 1.3 All Building Perimeter dimensions
  - 1.4 Benchmark Reference
  - 1.5 Top of Foundation Elevation
  - 1.6 Grade Elevations Indicating Drainage (Spot elevations at all corners, along property lines and high points)
  - 1.7 Building Setback Lines
  - 1.8 Easements
  - 1.9 Required Public Sidewalks (provide the lengths of 5 ft. sidewalk which the Builder is responsible/ show 6" thick through driveway, new sidewalks need to be re-bared to existing sidewalks)
  - 1.10 Show driveway with dimensions (approach needs to be 6" thick)
  - 1.11 Show water and sewer locations (Field locate curb valve and provide distance to nearest sanitary manhole)
  - 1.12 Silt fence description and location
  - 1.13 Show location for soil stockpiles
  - 1.14 The Site Plan will be used to determine conformance with the following Zoning Ordinance regulations
    - 1.14.1 Minimum Lot requirements (Lot width at the established building line and lot area)
    - 1.14.2 Yard Requirements
    - 1.14.3 Maximum Floor Area Ratio and Lot Coverage
- 2 As-Built Foundation Plat (must be submitted before rough framing begins) 3 copies of Plat required
  - 2.1 North Arrow and Legal Description
  - 2.2 Address and Lot Number
  - 2.3 All Building Perimeter Dimensions
  - 2.4 Benchmark Reference
  - 2.5 Top of Foundation Elevation
  - 2.6 Building Setback Lines
- 3 Plat of Survey for Occupancy (must accompany written request for occupancy) 3 copies of Plat required
  - 3.1 North Arrow, Scale, Legal description
  - 3.2 Address and Lot number
  - 3.3 All Building Perimeter dimensions
  - 3.4 Benchmark Reference
  - 3.5 Top of Foundation Elevation
  - 3.6 Grade Elevations Indicating the Drainage
  - 3.7 Building Setback Lines
  - 3.8 Actual Building Setbacks
  - 3.9 Easements
  - 3.10 Certificate of Conformance by surveyor to the Grading Plan
  - 3.11 Developer sign off for occupancy Request (if applicable)
  - 3.12 Dimensions/ Locations of any other Structures (Storm Inlets, Driveways, Sidewalks, Trees, Patios, etc.)
  - 3.13 Culvert Dimensions and Invert Elevations (if Applicable)
  - 3.14 Curb Box Location and Dimensions
  - 3.15 Sanitary Service Location with Dimensions
  - 3.16 Water Service Location with Dimensions
  - 3.17 Final Grading along abutting property Lines
  - 3.18 Elevation of lowest floor drain connected to the Sanitary Sewer
  - 3.19 Lowest adjacent Grading Opening (Top of Window Well or Bottom of Other Basement Window that is not an Escape Window)



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## Plumbing Permit Letter of Intent

To be submitted with any plumbing permit application

Date \_\_\_\_\_

To Whom it may Concern,

Plumbing Co. and Registration

\_\_\_\_\_ #055 \_\_\_\_\_

Plumbers Name and License

\_\_\_\_\_ #058 \_\_\_\_\_

Address \_\_\_\_\_ Phone \_\_\_\_\_

Email \_\_\_\_\_

Job Address \_\_\_\_\_

Job Description \_\_\_\_\_

\_\_\_\_\_

Property Owner \_\_\_\_\_

General Contractor \_\_\_\_\_

G.C. Address and Phone

\_\_\_\_\_

I am performing the work at the above address.

Signature \_\_\_\_\_ Date \_\_\_\_\_

\*\*\*\*\*

I am property owner doing all the work myself. Yes \_\_\_\_\_ No \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

# CITY OF SANDWICH

## Occupancy Permit

Before an occupancy permit will be issued, a final inspection must be approved. This would include all inspections deemed necessary.

A Plat of Survey (grading plan) must be submitted showing the "As Built" conditions of building and lot. See Plat of survey for Occupancy requirements below. All items listed **MUST** be shown on Plat.

Once three (3) copies of Plat of survey have been submitted, we will review and reply by the end of ten (10) working days as to whether the plats will be accepted or need revisions. If revisions need to be made, applicant will be informed and once new Plats have been submitted, a new ten (10) working days period of review begins.

Once Plats are approved, final inspections have passed and any other requirements have been fulfilled, an occupancy permit will be issued.

It is suggested that Plats be submitted a month before final occupancy is desired to allow for revisions. Final inspection should be completed, at minimum, a week before occupancy is desired. This allows for time to fulfill any requirements that may become necessary during final inspection.

The Buildings Department does not anticipate ceasing normal duties to rush through a process due to unfortunate timing issues of either late plat submittals or inspection requests.

1. Plat of Survey for Occupancy (must accompany written request for occupancy) 3 copies of Plat required
  - 3.1 North Arrow, Scale, Legal description
  - 3.2 Address and Lot number
  - 3.3 All Building Perimeter dimensions
  - 3.4 Benchmark Reference
  - 3.5 Top of Foundation Elevation
  - 3.6 Grade Elevations Indicating the Drainage
  - 3.7 Building Setback Lines
  - 3.8 Actual Building Setbacks
  - 3.9 Easements
  - 3.10 Certificate of Conformance to the Grading Plan
  - 3.11 Developer sign off for occupancy Request
  - 3.12 Dimensions/ Locations of any other Structures (Storm Inlets, Driveways, Sidewalks, Trees, Patios, etc.)
  - 3.13 Culvert Dimensions and Invert Elevations (if Applicable)
  - 3.14 Curb Box Location and Dimensions
  - 3.15 Sanitary Service Location with Dimensions
  - 3.16 Water Service Location with Dimensions
  - 3.17 Final Grading along abutting property Lines
  - 3.18 Elevation of lowest floor drain connected to the Sanitary Sewer
  - 3.19 Lowest adjacent Grading Opening (Top of Window Well or Bottom of Other Basement Window that is not an Escape Window)

See quick-checklist / next page

**The following is a quick checklist of areas often incomplete during final inspection. This not meant to be a complete list.**

- All spigots must have an anti-siphon valve.
- Programmable thermostat must be in place and operational.
- Scuttle hole doors must have a weather seal installed and be insulated.
- Gutter and downspouts must be functional.
- Check valve (back flow prevention) and expansion tank installed.
- All outlets need to be working correctly and GFI's functional. All outlets must be secured tightly to box.
- All bedrooms must be arc fault protected and labeled as such
- Hot water must be present at faucets. No more than 115 degrees at all showers.
- Garage service door to house must have self-closing hinges or suitable substitution.
- Landscaping complete.
- All exterior vents covers are installed.
- Caulking complete.
- HVAC vents are taped.
- Electrical Panel door must have 2012 IECC certificate adhered and completed.
- Blower door test completed with results

If for any reason, work is not ready when inspector arrives for a scheduled inspection, a repeat inspection fee may/will be charged.

**IN NEW CONSTRUCTION, DO NOT OCCUPY BUILDING UNTIL FINAL INSPECTION HAS BEEN PERFORMED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.**

I understand the above and agree to its content;

Signature \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_



**City of Sandwich Building Department  
815-786-8802**

**Foundation Plan:**

**The following list is a minimum itemization, but all items must be on plan. Plans must be stamped.**

- \_\_\_ Layout of foundation walls with dimensions
- \_\_\_ Size and locations of footings
- \_\_\_ Rebar notes for walls, footings and tie-ins to existing
- \_\_\_ Show stem walls
- \_\_\_ Foundation walls
- \_\_\_ Drops in foundation walls (esp. under doors)
- \_\_\_ Brick Ledges
- \_\_\_ Garage slopes/ gas curb
- \_\_\_ Pier pads/ size and locations
- \_\_\_ Air vents
- \_\_\_ Underfloor access
- \_\_\_ insulation requirements
- \_\_\_ Sump and ejector pit locations and direction of discharge
- \_\_\_ Mil of vapor barrier/ joints must overlapped and taped
- \_\_\_ stone description (type and size)
- \_\_\_ depth of slab
- \_\_\_ electrical layout for outlets, switches, and lighting
- \_\_\_ Describe electrical (amperage) service and location
- \_\_\_ Lally and connection to floor description
- \_\_\_ Show radon location
- \_\_\_ Size, direction, description and spacing of floor joists with bridging description
- \_\_\_ Size and type of beams
- \_\_\_ Size of windows and escape window description, including window well dimensions
- \_\_\_ Describe caulking both the concrete slab to wall edges and control joints for radon protection
- \_\_\_ Mortar in beam pockets

**City of Sandwich Building Department  
815-786-8802**

**Floor Plan:**

**The following list is a minimum itemization, but all items must be on plan. Plans must be stamped.**

- \_\_\_ Show each level of construction to be built or remodeled
- \_\_\_ Show all full or partial wall heights, the size and proposed use of each room
- \_\_\_ Show floor coverings
- \_\_\_ On all levels including foundation plan, show location, size and type of each window and doors along with door swings
- \_\_\_ Show locations of all bearing walls, headers and beams and other structural members supporting loads from above or below
- \_\_\_ Explain in-construction headers and any joist hangar applications
- \_\_\_ Show all stair systems, tread and riser dimensions and handrail requirements
- \_\_\_ Show plumbing fixtures and locations
- \_\_\_ Show heating and cooling equipment and locations
- \_\_\_ Show all interior and exterior electrical outlets and switches along with GFI and AFI locations
- \_\_\_ Show CFM on all fans
- \_\_\_ Show all smoke detectors and carbon monoxide sensors
- \_\_\_ Show attic access
- \_\_\_ Show floor and or ceiling joist sizes, spacing and bridging applications
- \_\_\_ Show kitchen layout and venting
- \_\_\_ Show decks (materials and attachment) and any porch details
- \_\_\_ Show fireplace details

**Roof Plan:**

**The following list is a minimum itemization, but all items must be on plan. Plans must be stamped.**

- \_\_\_ Show rafter sizes and spacing
- \_\_\_ Show ridge sizes
- \_\_\_ Show hip and valley sizes
- \_\_\_ Show any lay-on roofs
- \_\_\_ If using manufactured trusses, it is necessary to submit truss manufacturers engineered stamped drawings

**City of Sandwich Building Department  
815-786-8802**

**Wall section:**

**The following list is a minimum itemization, but all items must be on plan. Plans must be stamped.**

- Show anchor bolts / size and locations
- Show drain tile/ size and locations
- Show stone usage/ size and location
- Insulation values required for all floors, basement or crawl spaces, walls, ceilings and attics
- Damp proofing
- Size of footings and walls
- Slab size
- Sill plate and sealer/ Types and size
- Height of foundation above grade
- Floor joist size and spacing
- Box size and type
- Sub flooring size and type
- describe wall framing/ size of studs and spacing/ plates top and bottom
- Wall sheathing type and size
- Type of air infiltration barrier with taped seams
- siding or exterior finish
- interior finish
- Roof construction should show ceiling joists, rafters, and ridge.
- Show type and size of sheathing
- felt thickness
- required locations of ice and water shield
- Roofing type
- Eave overhang dimensions and materials
- gutter size

**City of Sandwich Building Department  
815-786-8802**

**Assorted Information:**

**The following list is a minimum itemization, but all items must be on plan. Plans must be stamped.**

- Lot # and address
- Scale used for drawing. Please use  $\frac{1}{4}'' = 1'-0''$
- Current list of applicable codes
- Door and window schedule including U-values and safety glazing, tempered glass listings
- Light and Ventilation Schedule
- Plumbing notes/ waste and water diagrams and details
- Legend tables explaining electric, plumbing, etc. symbols
- Design criteria for floors, walls, ceilings, ceilings, decks, and balconies. What source did you use to establish structural design components?
- Radon System/ Show drawing from basement through roof including electric
- Duct joints must be properly taped
- Ducts in exterior walls must be insulated to R-6 (minimum)
- Ducts in attics must be insulated to R-8 (minimum)
- Furnace must have exterior supply air
- Hot water piping must be insulated to a minimum of R-3
- All bedrooms and smoke detectors need to be Arc Fault protected
- Blower test criteria

## Residential Plan Requirements/ New Homes or Additions

### Building Section

#### Purpose

Three complete sets of plans, stamped by a licensed design professional, of your proposed residential construction project are required for the Building Section's plan check process. As well as communicating your construction project to the Building Section and your contractor, a detailed set of plan helps you in your own planning, whether it be aesthetic or financial. In addition, a complete set of plans will help to identify and correct problems on paper, before construction begins, thus avoiding costly mistakes or changes during the construction process.

A complete set of stamped working drawings will aid the plan reviewers in assessing the structural integrity of your project so that your building is safe and comfortable. One set of approved plans will be returned to you with minor corrections marked in red. This set must always remain onsite for reference by the building inspectors. Another set will also be marked up and placed in our files for reference during construction. Plans submitted with too many errors (3) inconsistencies and /or omissions may/will be returned for correction.

In general, a complete, accurate set of drawings will help speed up the plan check process and make any construction project less complex and frustrating.

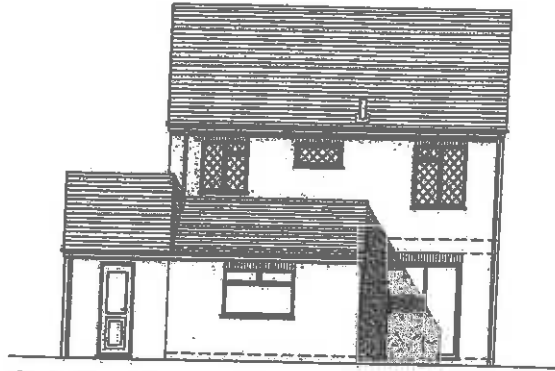
**In the following pages, you will see the minimum standards. There is an item check list to be used. We expect everything on these lists to be written or drawn on submitted plans. If there are more than a few missing items, plans will be returned. No permit will be issued. If you have questions on certain items, please feel free to ask for clarification. Do not just omit their inclusion. It would be a benefit to the building department for you to have all your questions ready at one time. It is easier for the building department to receive an email with questions. ([Tsteffens@sandwich.il.us](mailto:Tsteffens@sandwich.il.us))**

It is applicant's duty to ensure their Homeowners Association (if applicable) approval before a permit will be issued. This is **not** performed by the City of Sandwich.

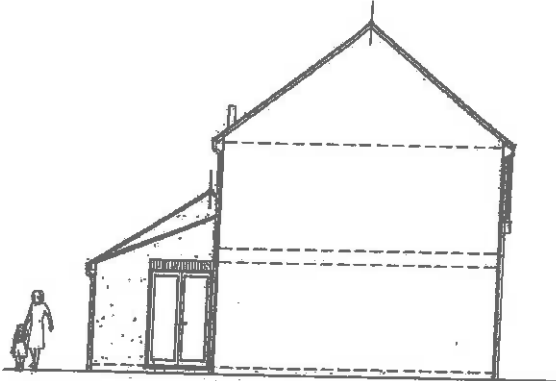
#### Process

Plans submitted to the building department for review are most often received by the front counter. Once received, your permit application and submittal will be reviewed to see if they are complete by reviewing the applicant checklist in this packet. They are checked for conformance with building codes, ordinances, including setbacks from property lines, percentage of lot coverage, legal access and lot size, permitted development for the area, etc.

Show all sides of building with exterior materials noted. Show roof pitches.



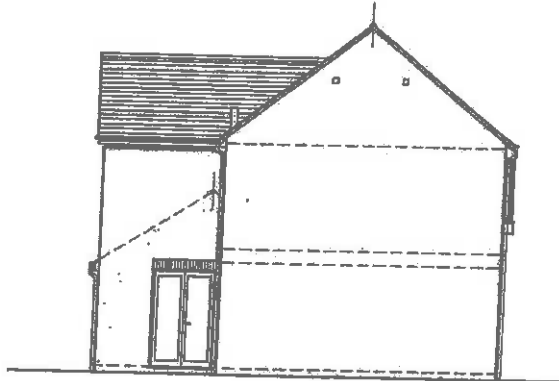
North (Rear) Elevation - Existing



West (Side) Elevation - Existing



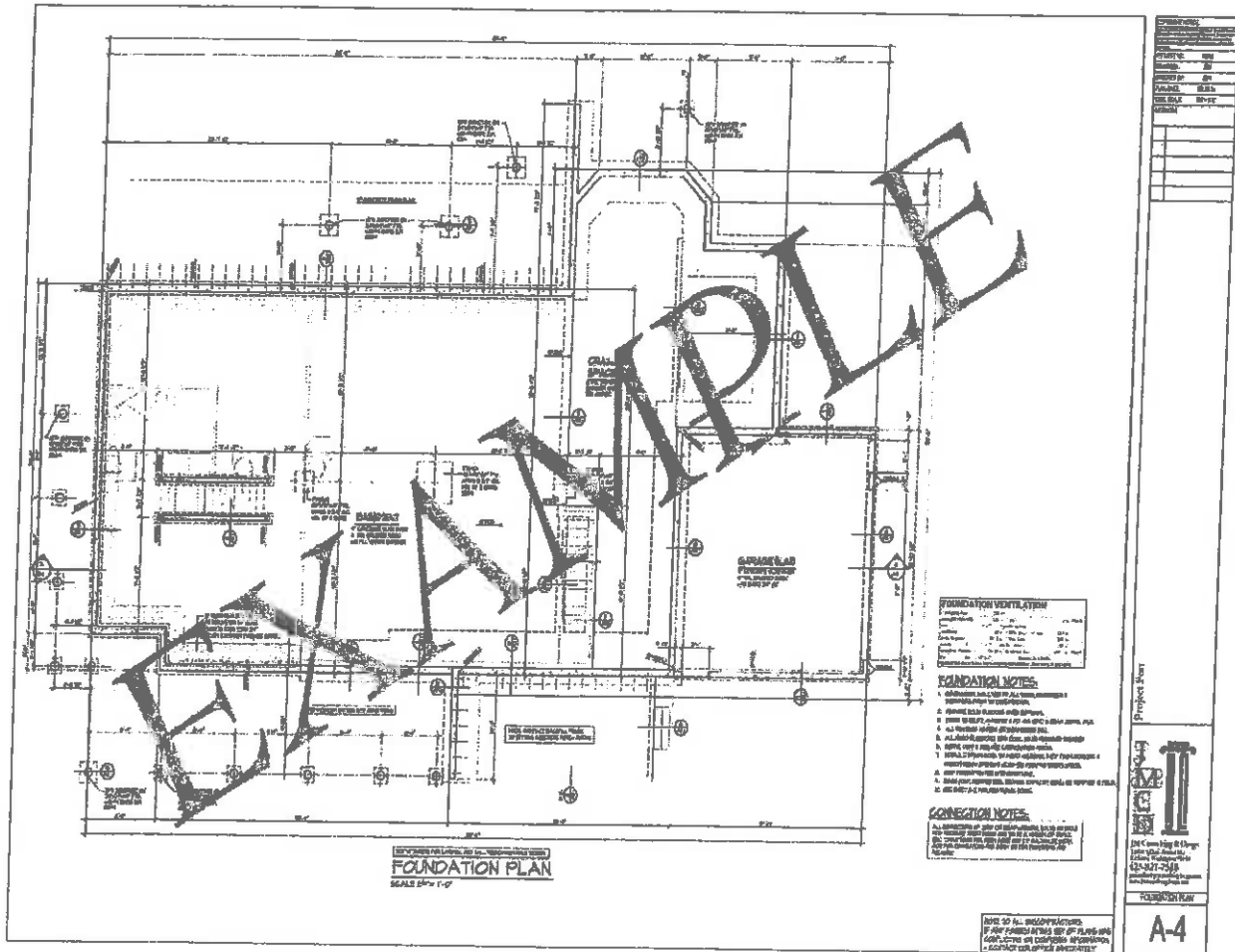
North (Rear) Elevation - Proposed



West (Side) Elevation - Proposed

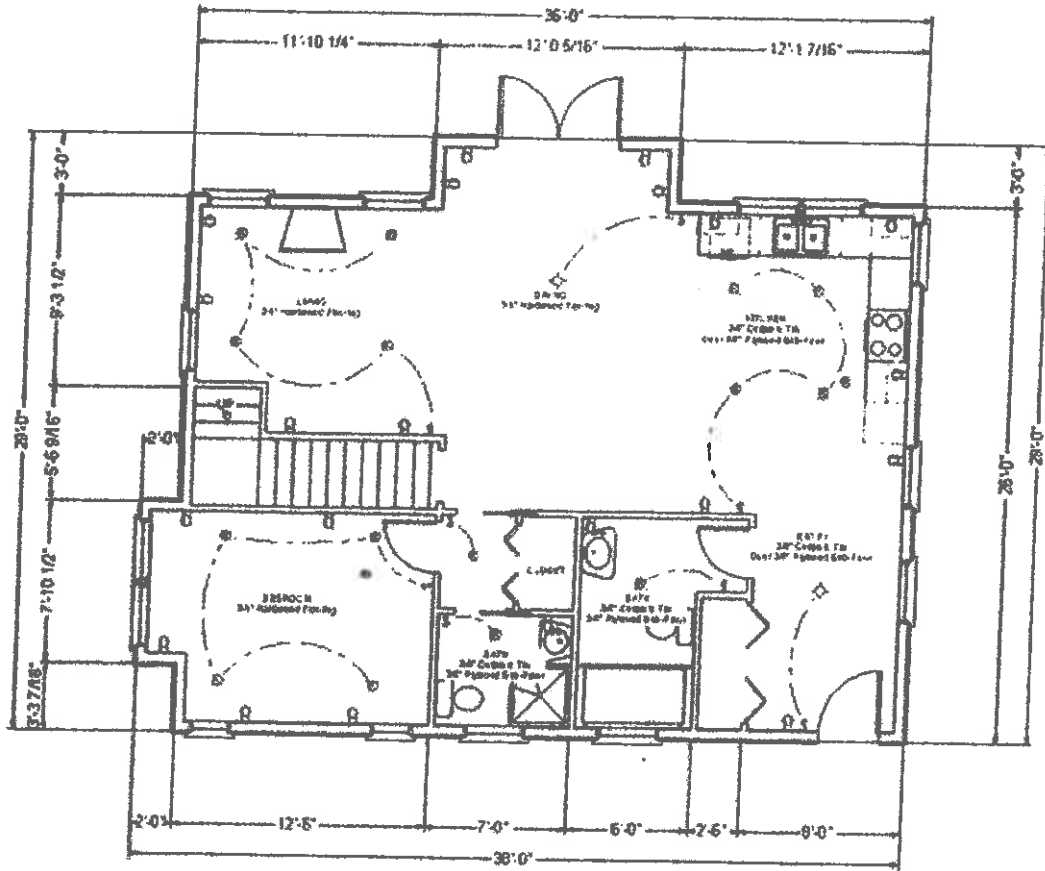
**Sample elevation plan/ This is for a visual aid only.**

Add items as needed in description of elevation section. See attached checklist.



**Sample Foundation plan/ This is for a visual aid only**

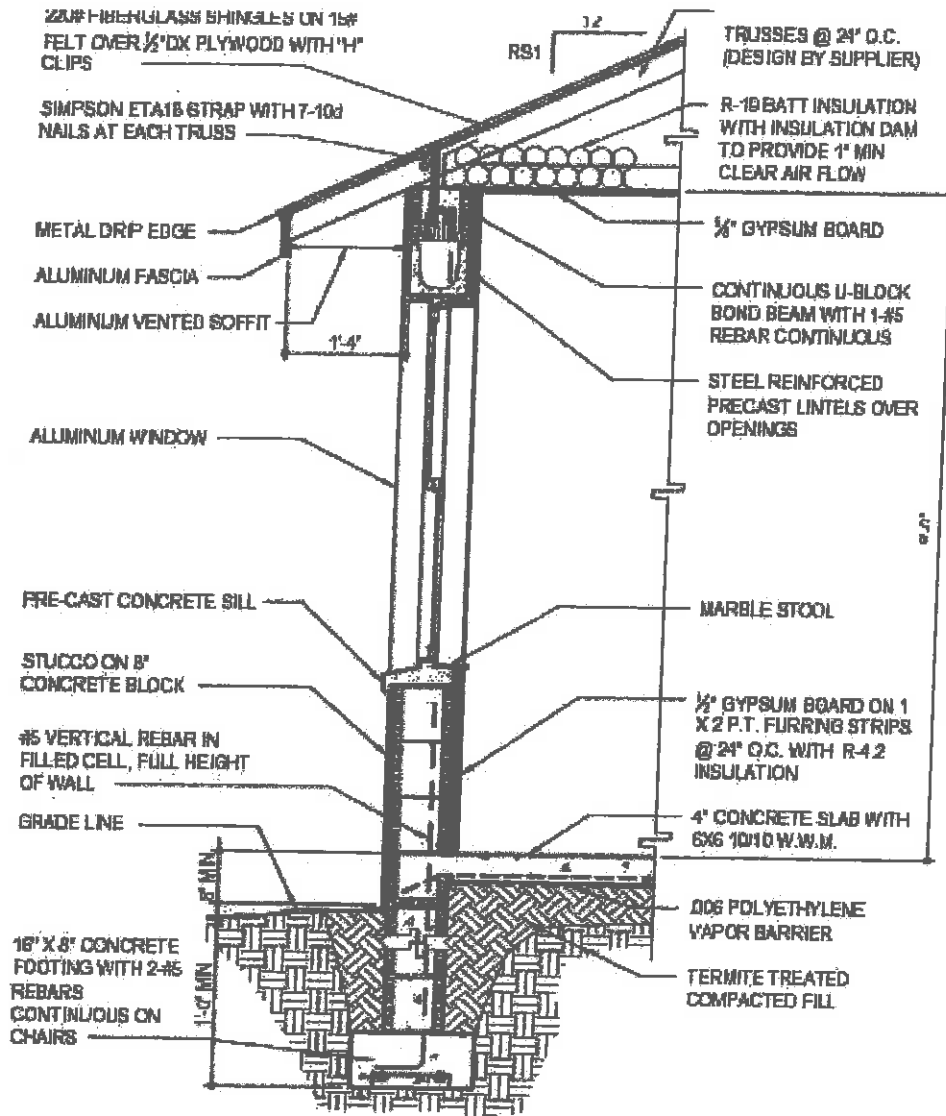
Add items as needed in description of foundation plan. See attached checklist



**Sample floor plan/ This is for a visual aid only**

Add items as needed in description of floor plan. See attached checklist.





**1 TYPICAL WALL SECTION**  
3/4" = 1' - 0"  
CIVIL 101

Sample wall section/ This is for a visual aid only.

Add items as needed in description of wall section. See attached checklist.

**PASSIVE RADON CONTROL SYSTEM IN CRAWL SPACE FOR NEW CONSTRUCTION**

**1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.**

**2. VENTILATE CRAWLSPACES IN CONFORMANCE WITH LOCAL CODES; VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.**

**3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT.**

**EXHAUST (10' FROM OPENINGS INTO CONDITIONED SPACES OF BUILDING) 12" MIN. ABOVE ROOF**

FLASHING

ROOF BRACE

RAFTER

ATTIC

JOIST

LIVING AREA

FLOORING

JOIST

CAP BLOCK OR OTHER SEAL ON HOLLOW BLOCK WALLS

CRAWL SPACE NOTE 2

SOIL-GAS-RETARDER MEMBRANE SEALED AGAINST WALL AND AROUND PENETRATIONS (MIN. 6-MIL. POLYETHYLENE SHEETING OR EQUIVALENT)

PERFORATED DRAIN TILE: NOTE 1

GRADE LEVEL

ELECTRICAL JUNCTION BOX FOR FUTURE INSTALLATION OF VENT FAN: NOTE 3.

ELECTRICAL JUNCTION BOX FOR FUTURE INSTALLATION OF WARNING DEVICE: NOTE 3.

SUPPORT STRAPPING

3"-4" DIA. VENT PIPE (PVC OR EQUIVALENT)

SEAL MEMBRANE AROUND PIPE PENETRATION

ADJOINING SHEETS OF MEMBRANE OVERLAPPED AND SEALED

PVC T-FITTING (OR EQUIVALENT) TO SUPPORT VENT PIPE

City of Sandwich Building Department

815-786-8802

Sample of Light and Ventilation Schedule

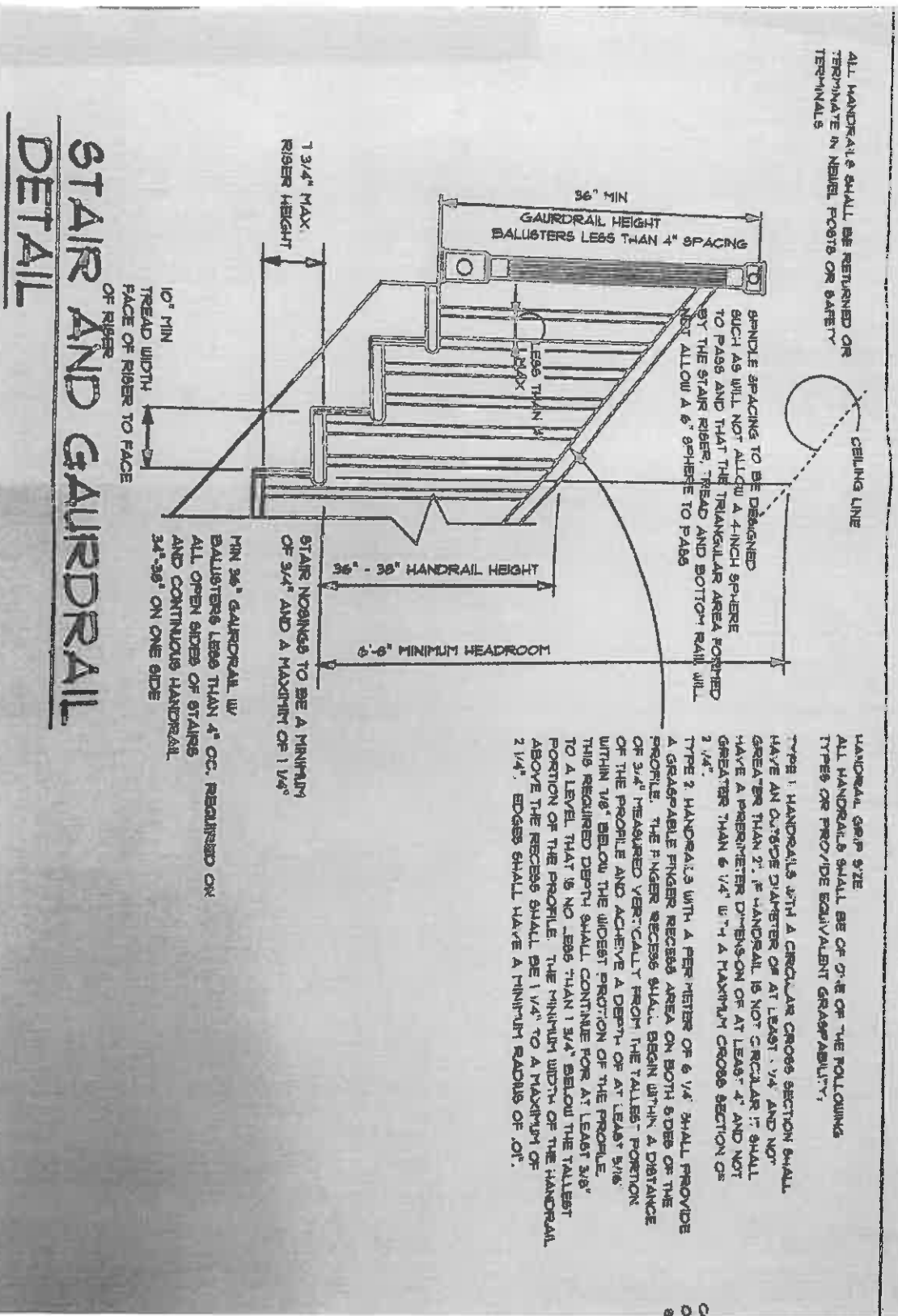
LIGHT AND VENTILATION SCHEDULE									
ROOM DESIGNATION	ROOM AREA S.F.	REQUIRED VENTILATION	ACTUAL VENTILATION	REQUIRED LUX*	ACTUAL LIGHT	WINDOW U FACTOR	WINDOW SHGC		
DINING ROOM	200	8.0	18.3	16.0	28	.30	.26		
KITCHEN/DINETTE	371.0	15.1	18.7	30.2	37.3	.30	.26		
FAMILY ROOM	525.0	21.0	29.0	42.0	56.0	.30	.26		
POWDER ROOM		FAN TO CFM							
HALL BATH #1		FAN TO CFM							
MASTER BATH		FAN/WINDOW TO CFM							
BEDROOM #2	198	1.9	10.9	15.8	21.8	.30	.26		
BEDROOM #3	210	8.4	10.9	16.8	21.8	.30	.26		
BEDROOM #4	225	9.0	10.9	18.0	22.4	.30	.26		
MASTER BEDROOM	331	13.5	16.2	27.0	32.6	.30	.26		

- 1.) THIS TABLE IS COMPLETED ONLY IF REQUIRED BY LOCAL CODES
- 2.) LIGHT REQUIREMENTS ARE BASED ON % OF ROOM AREA
- VENTILATION REQUIREMENTS ARE BASED ON 4% OF ROOM AREA

### Sample of Design Criteria

DESIGN CRITERIA		
FLOOR	40"LL 10"DL	ALL AREAS EXCEPT SLEEPING
FLOOR	40"LL 10"DL	SLEEPING AREAS
WALL	60" PLF OR ACTUAL LOAD	
CEILING	20"LL 10"DL	ROOF SLOPES OVER 3 IN 12
CEILING	10"LL 5"DL	ROOF SLOPES 3 IN 12 OR LESS
ROOF	30"LL 10"DL	ALL SLOPES
CATHEDRAL	30"LL 15"DL	ALL SLOPES
EXT. DECKS	40"LL 10"DL	
BALCONY	60"LL 10"DL	EXTERIOR

Sample of Stair and Guardrail Detail



**STAIR AND GAURDRAIL  
DETAIL**

ALL HANDRAILS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS

SPINDLE SPACING TO BE DESIGNED SUCH AS WILL NOT ALLOW A 4-INCH SPHERE TO PASS AND THAT THE TRIANGULAR AREA FORMED BY THE STAIR RISER, TREAD AND BOTTOM RAIL WILL NOT ALLOW A 6" SPHERE TO PASS

CEILING LINE

HANDRAIL GRIP SIZE  
ALL HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY,

TYPE 1 HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF 2 1/4".

TYPE 2 HANDRAILS WITH A PERIMETER OF 6 1/4" SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 3/16" WITHIN 1/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NO LESS THAN 1 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4" TO A MAXIMUM OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF .01".

1 3/4" MAX. RISER HEIGHT

36" MIN GAURDRAIL HEIGHT BALUSTERS LESS THAN 4" SPACING

EGG THIN 3" MAX

10" MIN TREAD WIDTH FACE OF RISER TO FACE OF RISER

36" - 38" HANDRAIL HEIGHT

6'-6" MINIMUM HEADROOM

MIN 36" GAURDRAIL W/ BALUSTERS LESS THAN 4" OC. REQUIRED ON ALL OPEN SIDES OF STAIRS AND CONTINUOUS HANDRAIL 34" - 36" ON ONE SIDE  
STAIR NOSINGS TO BE A MINIMUM OF 3/4" AND A MAXIMUM OF 1 1/4"

Energy Certificate/ Complete and attach to electrical Panel

<b>INSUALTION RATING</b>		<b>R- Values</b>
Ceiling/vaulted		R-
Walls		R-
Attic		R-
Basement		R-
Crawl Space		R-
Floors over unconditioned space		R-
<b>GLASS AND DOOR RATING</b>		<b>U- Values</b>
Windows		U-
Door		U-
Skylight		U-
<b>SYSTEMS</b>		<b>EFFICIENCY RATING</b>
Furnace AFUE		
Cooling SEER		
Water Heater EF		
<b>AIR LEAKAGE TEST RESULTS</b>		
Blower door ACH/50		
Duct testing Cfm /100 ft 2		
System	Pass	Fail
<b>Indicate if installed</b>	<b>No Rating necessary</b>	
Electric furnace	Yes	No
Gas-fired unvented room heater	Yes	No
Baseboard electric heater	Yes	No
<b>Contractor/ Builder</b>		
<b>Address</b>		
<b>Date</b>		